

ROOF REPAIR & OVERHAUL 4 CHENISTON GARDENS, LONDON. W8.

REFURBISHMENT

Contents:

Preliminaries

Specification

SCHEDULE OF WORKS

**European Property Management
Hurlingham Studios
Ranelagh Gardens
London
SW6 3PA
020 7731 5359
July 13**

PRELIMINARIES

Conditions of Tender

A Itemized prices

One copy of this specification to be returned, priced item by item, together with the form of tender. Each price quoted shall be the total cost to the Employer for that work.

B Visit the site

The Contractor is advised to visit the site and assess the means of access, delivery of materials, storage, parking and any matters which may affect his tender. No claims attributable to any misunderstandings or neglect on his part will be entertained.

C Form of Contract

Form of Contract will be the JCT Agreement for Minor Building Works, April, 1995.

D Appendix to the Form of Contract

Defects liability period	6 Months
Insurance Cover Under 6(1) 6(2) 6(3) A	£500,000
Liquidated and Ascertained Damages	£100/week
Period of delay	i) 3 months ii) 1 month
Period of Interim Certificates	Weekly
Retention Percentage	0%
Period of Final Measurement	1 months

Percentage Additions

Nil

E Plant and Machinery

Provide all plant , scaffolding, machinery and sufficient men and materials for proper expeditious and complete execution of the works

A Period of Contract

The contractor shall commence the works immediately after notification of possession of the site has been given, shall regularly proceed with them, and shall complete within the period stated in their tender.

B Contingency Sum

Allow a sum of £0 as a contingency sum to be used only as instructed.

C Foreseeable Work

The schedule of work shall not be taken as complete descriptions of labour and materials necessary to complete the work. They indicate the main object of the work and the general standard of labour and materials necessary to complete the work satisfactorily. Items shown on the drawings, but not covered in the specification shall be taken as included in the contract sum.

D Sub-Contractors

The contractor is to allow in his price for making good all walls and ceilings etc., as a result of nominated and other sub-contractors work and other items as they occur.

E Clearing Away

The contractor shall remove all debris, rubbish and surplus materials as they accumulate, leaving the works clean, free of rubbish, surplus materials, plant or dirt

A Insurance

The contractor is to allow for the following:

- (a) For indemnifying the Employer against risk defined in Clause 6.1 of the Conditions of the Contract (injury to persons and property).
- (b) For insuring and causing any sub-contractors to maintain such insurance's, against all risks, of personal injury or death and of injury or damage as defined in

Clause 6.2.

B Valuations

The contractor will be required to submit a detailed price

statement of works executed and materials supplied in support of applications for interim payments. he should, at the same time, provide any necessary applications for payment from nominated sub-contractors, and receipted accounts for all provisional sums and PC sums.

C Certificate Valuations

Where applicable, the priced specification will be used in Interim valuations, and shall form the basis for ascertaining Of the cost valuations to be settled and agreed upon Completion, at the discretion of the supervisor.

D Overtime

No payment for the additional cost of overtime for Day work items will be allowed unless written instructions for such overtime work are given by the supervisor.

E Omissions

Where work is omitted from the contract no allowance will be made for loss of profit on the omitted works.

F Dimensions/Setting Out

No dimensions shall be scaled off the drawings, where plan dimensions are given, these are to be structural face of walls and partitions and allowances for plaster finish etc., is

to be made. Finished floor levels to be the same as dimensions are given the Contractor is to check with the Architect prior to commencing work.

A Foreman in Charge

The contractor shall constantly keep on the works a competent foreman in charge and any instructions given to him by the architect/ supervisor shall be deemed to have been issued to the contractor.

B Site Meetings

The contractor's representative will be required to attend all site meetings as and when directed by the supervisor.

C Time and progress Chart

The contractor is to provide a bar chart prior to the works starting on site, showing his program for construction against which progress may be measured throughout the course of the contract.

D Instructions of Statutory Inspectors

All instructions to the contractor shall be issued through the supervisor. The contractor shall not act upon the instructions of any Statutory Inspector or of any other

person without first informing the supervisor and gaining his approval.

RATE TOTAL

E ACTS, REGULATIONS ETC

Comply with all regulations made by any authority having Jurisdiction over or in connection with the works. Codes of Practice published by BSI and the major trade organisations. All British standards mention in this specification. Printed Directions issued by the manufacturers of proprietary materials and components used (whether specified or not). Comply with All building regulation requirements.

F
The contractor must at all times adhere to the health and safety regulations and all prices provided within the tender shall include such provision as to be carried out in accordance with the Health and Safety. The contractor is 100% responsible for all dealings with gas, electric And telecom suppliers.

RATE TOTAL

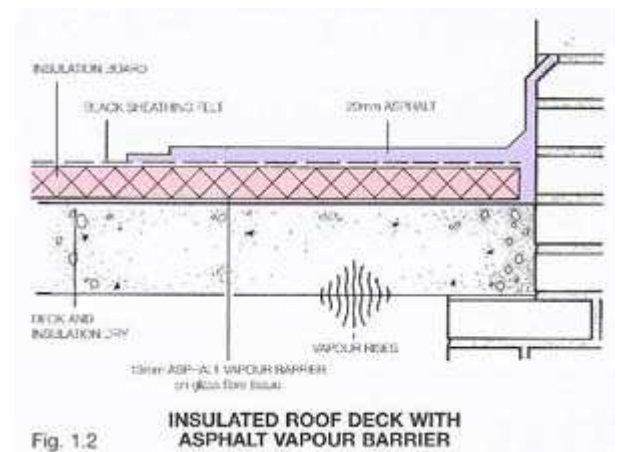
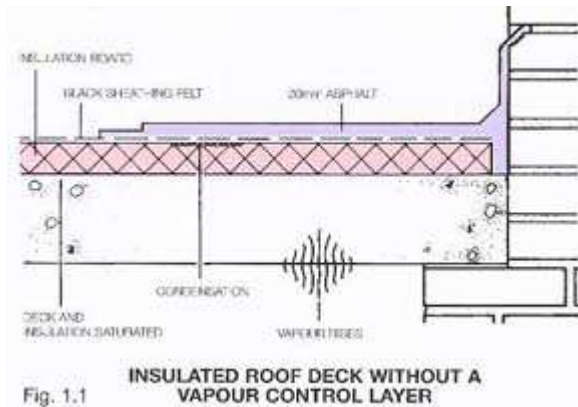
GENERAL

- - a) Scaffold
Utilize scaffold for exterior decorations.
- - a) Demolition
Cut away and strip off all existing roof covering including defective lead battens and all failed or defective materials. Carefully inspect roof deck and supply a report as to condition. Agree with the surveyor if the deck requires repair or replacement. Allow a PC sum of £5,000 for deck repair.
 - b) In the event of deck replacement allow for new high grade insulation to be installed under new deck. Allow PC sum of £1,000. Decking to comply with BS6229 2003 and can be laid in accordance with the codes of practice.
 - c) Where sub structure consists of timber board, plywood, woodwool slabs or decking units liable to slight movement a free standing splayed timber kerb must be fixed to the subs structure adjacent to walls and upstands.
 - d) In the event of replacement of timber deck then a plywood deck should be designed to minimize the effects of warping, shrinkage or movement. Timber surrounds are necessary at eaves and verges. Deck to be kept dry and fixed and covered on the same day. Plywood should be 19mm thick.
 - e) Falls to clear water must be 1 in 80 for water to clear the roof. Allow for normal construction tolerances and achieved a finished fall of 1:80.
 - f) Water vapour is always present in varying amounts in the atmosphere, and when it comes into contact with a cold surface the vapour may condense into liquid.
 - g) Condensation is liable to occur on the internal surfaces of the walls and roof of a building if the temperature and humidity of the air inside the building is appreciably higher than the outside atmosphere, particularly if the walls and roof have low thermal insulation values.
 - h) In practice such condensation is frequently more severe under the roof than on the walls, partly because roofs often cool rapidly at night by radiation to a clear sky and partly because, in the past, roofs have usually had lower thermal insulation values than walls.
 - i) When designing a roof the problem of condensation must always be borne in mind. Any provision required to control condensation should be determined as recommended in BS 6229 but with the calculation method modified to conform with BS 5250:2002 – Code of Practice for control of condensation in buildings.
 - j) In the case of a roof incorporating mastic asphalt, a suitable thermal insulation may be included within the system. This layer must have sufficient insulation value for its underside to remain above the temperature at which condensation can start, even on the coldest nights. The provision of insulation alone, however, may not be sufficient to prevent condensation. If the

RATE TOTAL

insulation is permeable to water vapour, the vapour will pass upwards through it and condense on the underside to the waterproof membrane.

k)



To prevent this happening a vapour control layer in the form of a vapour check or full vapour barrier should be provided on the underside of the insulating layer. A vapour check may consist of a single layer of roofing felt, whilst a vapour barrier can be formed of two layers of roofing felt or a proprietary metal lined vapour barrier. It is essential that all side and end laps are fully sealed. A 13mm thick single coat of asphalt roofing on an underlay of glass fibre tissue which would serve as a vapour barrier.

- l) Asphalt to be laid in two coats, breaking joint to a nominal thickness of 20mm on an underlay of black sheathing felt laid loose with 50mm lapped joints. Clean sharp sand to be rubbed in evenly to the finished surface whilst still hot.

- Timber Deck

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TIMBER DECKS

RATE TOTAL

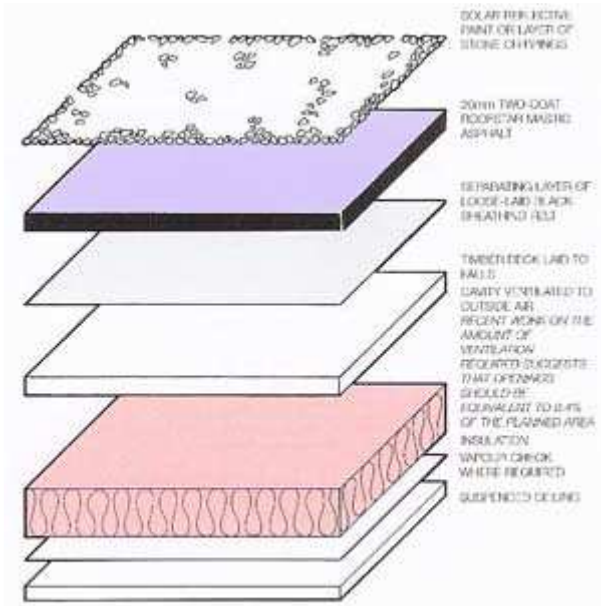


Fig. 1.25 COLD ROOF

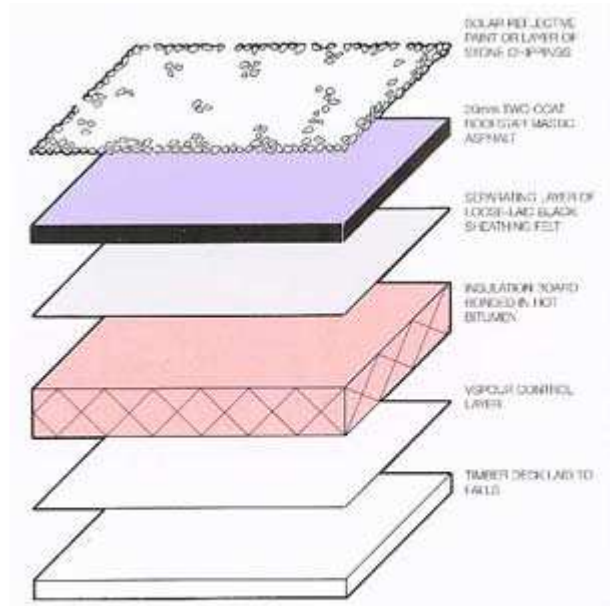


Fig. 1.26 WARM ROOF

WOODWOOL DECKS

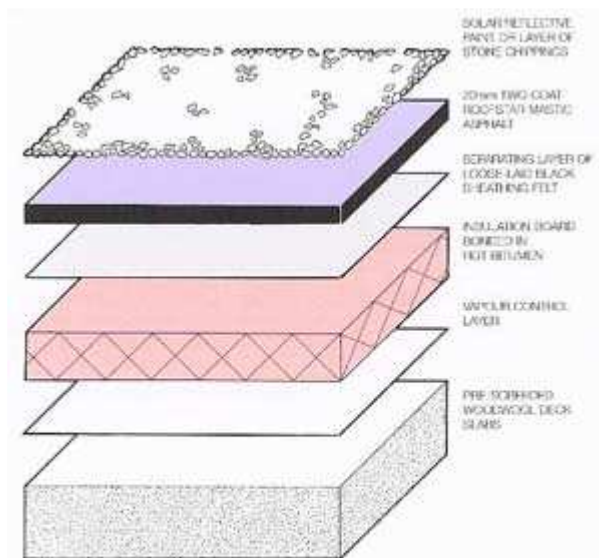


Fig. 1.27 WARM ROOF

TIMBER/WOODWOOL DECKS

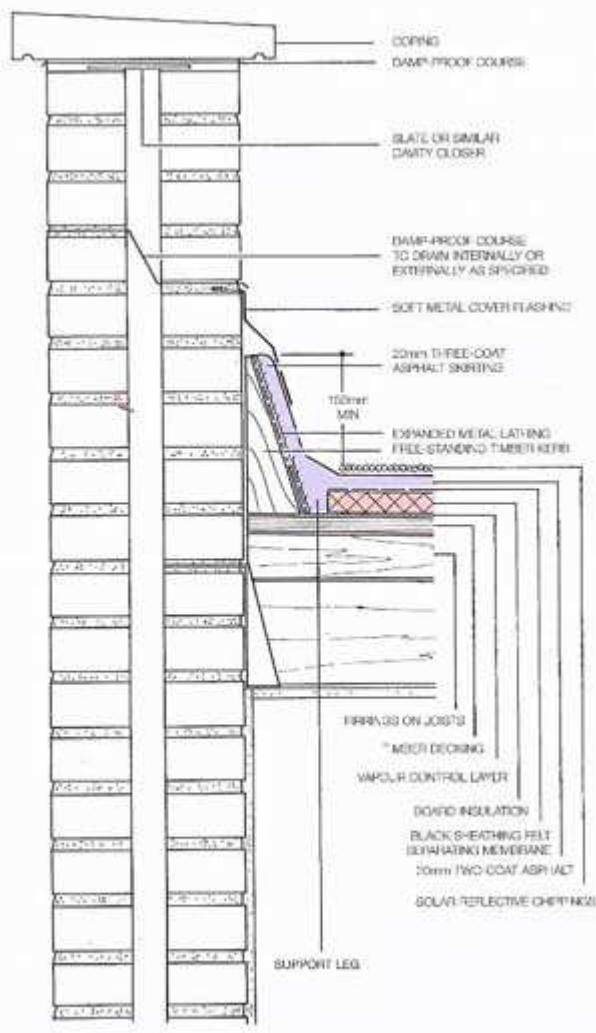


Fig. 1.28 SKIRTING TO BRICK PARAPET

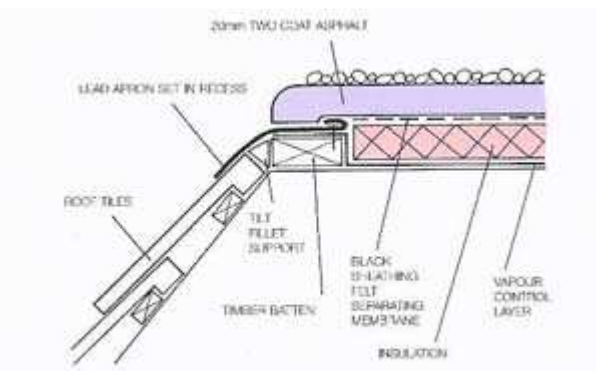


Fig. 1.29 MANSARD DETAIL

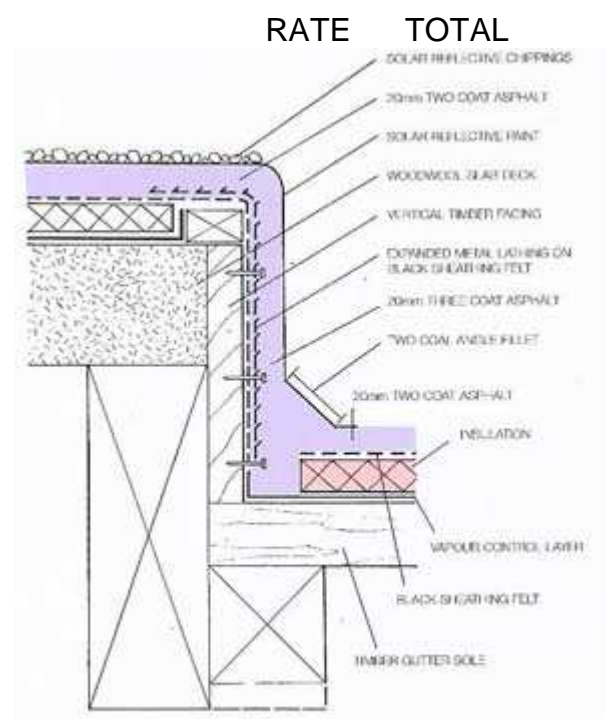


Fig. 1.30 ASPHALT TO GUTTER IN WOODWOOL ROOF DECK

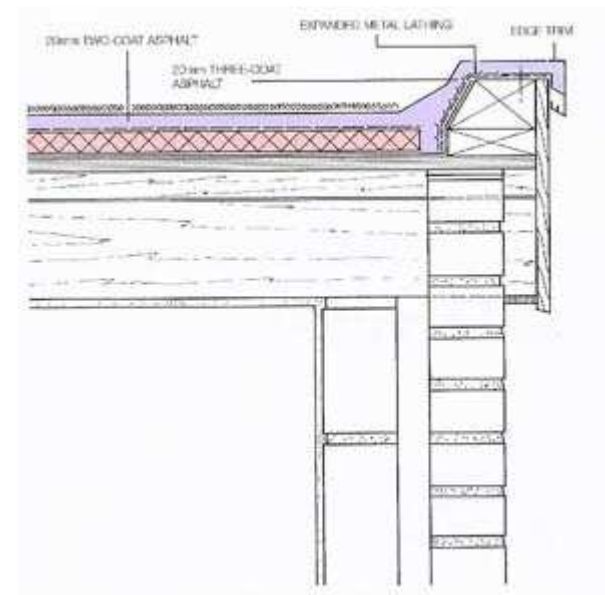


Fig. 1.31 CHECK KERB AND G.R.P. EDGE TRIM

- | | | RATE | TOTAL |
|----|--|------|-------|
| • | Roof finish | | |
| a) | Provide two coats of solar reflective paint to all accessible areas. | | |

• CLEANING

The site is to be thoroughly cleaned including
all glazing

TIME PERIOD REQUIRED TO EXECUTE WORKS _____

PRICE.....£

All extras agreed during the course of the contract which impede the progress of work shall be notified to the supervisor and an extension of the contract can be agreed immediately.